

HISTORIC AND DESIGN REVIEW COMMISSION

March 16, 2022

HDRC CASE NO: 2022-157
ADDRESS: 1800 SAN PEDRO AVE
LEGAL DESCRIPTION: NCB 1863 BLK 3 LOT 12, & W 46.5 FT OF 13
ZONING: C-2, H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Joanna Ayala/1800 SAN PEDRO PL LLC
OWNER: Joanna Ayala/1800 SAN PEDRO PL LLC
TYPE OF WORK: Historic Tax Certification
APPLICATION RECEIVED: March 04, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting Historic Tax Certification for the property at 1800 San Pedro.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualification.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

FINDINGS:

- a. The primary structure located at 1800 San Pedro is a 2-story commercial structure constructed as a residential structure circa 1900. The structure features a pyramidal metal roof with cross gables, a 2-story wraparound front porch with classical columns, one-over-one wood windows and wood cladding. The property is contributing to the Monte Vista Historic District. The applicant is requesting Historic Tax Certification.
- b. The scope of work includes a comprehensive interior remodel, electrical, plumbing, and mechanical upgrades, foundation repair, siding repair, porch decking, column, and railing repairs, repainting, roof replacement, fence repainting, and landscaping. Certificates of Appropriateness are required for all exterior scopes of work.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer. To qualify for the Substantial Rehabilitation Tax Incentive the owner must pursue Historic Tax Verification once the rehabilitation work is complete.

RECOMMENDATION:

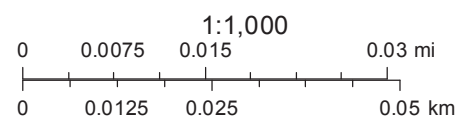
Staff recommends approval based on findings a through c.

City of San Antonio One Stop



March 11, 2022

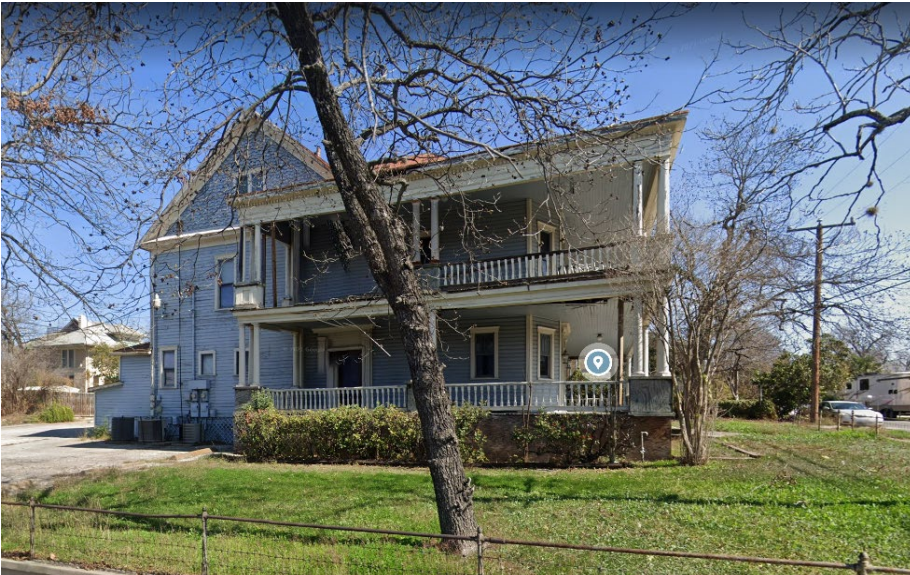
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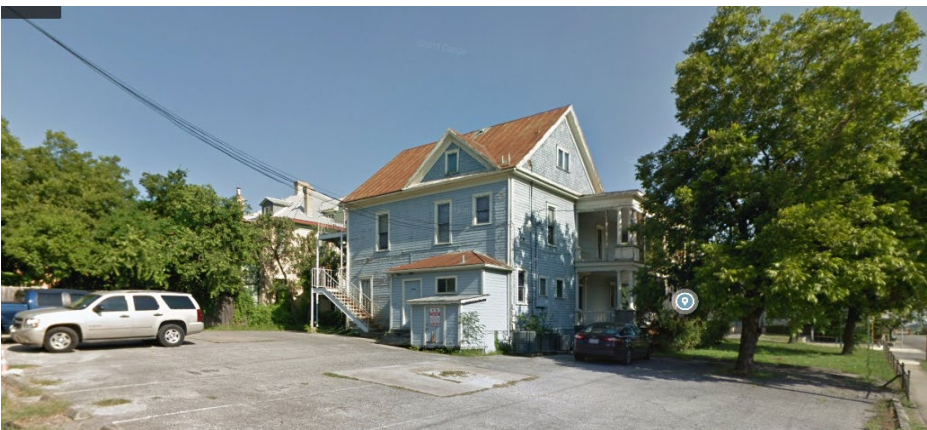
Exterior Photos



Russell Pl View



San Pedro Ave View



Alley View

02/22/22

To Office of Historic Preservation

We will be renovating 1800 San Pedro Ave, San Antonio, TX 78212 in the Historic District of Monte Vista. This renovation will be for the building that was built in 1900. The building will be converted to a pediatric dental office to have the business Monte Vista Pediatric Dentistry provide top notch care for childrens' oral health.

The proposed work will be the following:

Exterior

- Stabilization of the foundation
- Repair Siding
- Repair Deck
- Repair Columns and Rails
- Refresh Paint
- New Roof
- Backroom redone to secure equipment for the office.
- Repaint fence
- Additional Landscape

Interior:

- Renovate the interior rooms for dental equipment
 - Plumbing
 - Electrical
 - Medical Gas
- Repurpose hardware floor that is currently under carpet
- ADA up to code bathroom
- Repaint
- New Cabinetry
- New Fixtures

The estimated project improvements is \$210,000

The renovation of this historic building will bring back the building to its 1900 days with both appeal and appearance that the Monte Vista Historic District and City of San Antonio value.

If you have any questions, please do not hesitate to reach out. Thank you.

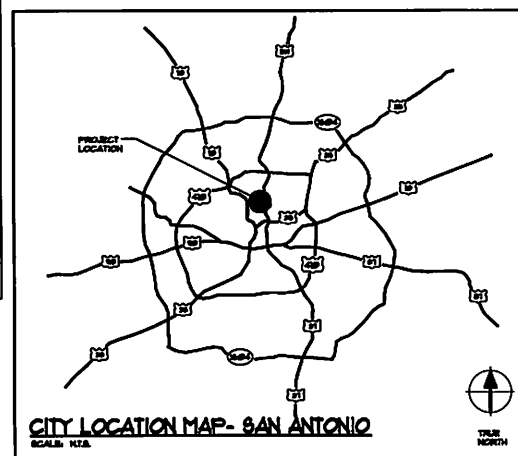
Sincerely,

Joanna Ayala, DMD
Pediatric Dentist
(210) 632-4560

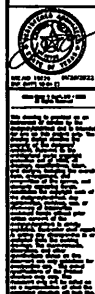
INDEX	
DESCRIPTION	SHEET NO.
ARCHITECTURAL	MCZAZA DESIGN & DEVELOPMENT, LLC PO BOX 10284 SAN ANTONIO, TX 78211 282.470.1000 PH
CONTACT: RICARDO CASTRO, DESIGNER/PM	
COVER SHEET	A0.1
ADA NOTES/DETAILS	A0.2
GENERAL NOTES	A0.3
LIFE SAFETY PLAN	A0.4
DEMOLITION FLOOR PLAN	A1.0
FIRST FLOOR PLAN - WALL TYPES	A2.1
REFLECTED CEILING PLAN	A2.2
ENLARGED PLAN - INTERIOR ELEV. - DTL.6	A3.0
ROOM FINISH / DOOR SCHEDULES	A4.0
MEP	LEMON DESIGN GROUP, LLC PO BOX 858343 SAN ANTONIO, TX 78284 282.361.3020 PH
CONTACT: URBEL MELANDEZ, PM	
FIRST FLOOR MECHANICAL DEMOLITION PLAN	DM1.0
FIRST FLOOR ELECTRICAL DEMOLITION PLAN	DE1.0
FIRST FLOOR PLUMBING DEMOLITION PLAN	DPL1
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MECHANICAL SCHEDULES AND SPECIFICATIONS	M2.0
ELECTRICAL FIRST FLOOR LIGHTING PLAN	E1.0
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PLUMBING DOMESTIC WATER FLOOR PLAN	P1.2
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DENTAL PIPING SYSTEM FLOOR PLAN	P2.0
PLUMBING DETAILS	P3.0
PLUMBING SCHEDULES AND NOTES	P4.0
PLUMBING SPECIFICATIONS	P5.0
STRUCTURAL	SA ENGINEERING COMPANY 1700 SPEIGHTMAN DRIVE SAN ANTONIO, TX 78240 789.454.1818 PH
CONTACT: JEFF H. SHENKARD, P.E.	
FOUNDATION PLAN - SPEC'S - NOTES	S-1
FIRST FLOOR STRUCTURAL SUPPORT	S-2
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SYMBOLS LEGEND	
MARK	DESCRIPTION
	WALL PARTITION TYPE
	DOOR NUMBER KEY
	WINDOW KEY
	ELEVATION KEY
	RISER DESIGNATION
	FIRE EXTINGUISHER CABINET, ADD ONE TO EACH FLOOR
	DETAIL LOCATION KEY
PROJECT SCOPE	
<p>THESE PLANS ARE TO RENOVATE AN EXISTING COMMERCIAL BUILDING FOR A NEW COMMERCIAL OFFICE. EXISTING BUILDING IS A THREE STORY WOOD STRUCTURE BUILDING. FIRST FLOOR PLAN TO CONTAIN OFFICE, RESTROOMS AND CLOSET. SECOND FLOOR. RENOVATION CONSIST OF REMOVING A FEW INTERIOR WALLS TO INCREASING EXISTING RECEPTION/OFFICE AND PRIME & PINK WALLS/CLOSETS. MATERIALS TO REMAIN SHALL BE WOOD FLOORS, EXISTING WINDOWS/DOORS AND CEILING SURFACES (EXCEPT IMPACTED BY WALL REMOVAL, SEE PLANS). AN ASSESSMENT REPORT TO BE A PART OF THE PERMIT REQUEST DOCUMENTS.</p> <p>ALL EXISTING CONSTRUCTION ON THE 2ND/3RD FLOOR (EMPLOYEES ONLY) IS TO REMAIN AS IS AS WELL AS NO SITE WORK IS TO BE DONE UNDER THIS PERMIT PHASE.</p> <p>ALL EXISTING PATCH & REPAIR WORK IS TO BE DONE UNDER A SEPARATE REPAIR PERMIT PHASE, BY OWNER.</p>	
PROJECT DIRECTORY	
<p>OWNER/CONTACT: DR. JOANNA AYALA PO BOX 356 LYTLE, TX 78052 210-432-4560</p>	

BUILDING CODE DATA	
<p>BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL FIRE CODE, 2018 INTERNATIONAL MECHANICAL CODE, 2018 NATIONAL ELECTRICAL CODE, 2018 INTERNATIONAL PLUMBING CODE, 2018 IBC</p> <p>OCCUPANCY GROUP: B - PROFESSIONAL SERVICE OFFICE - MINIMUM WORK FLOORSPACE 15% OF 3,827 SQ. FT.</p> <p>TYPE OF CONSTRUCTION: TYPE B-3 - ROSE SPRINGFORD</p>	
MAXIMUM NUMBER OF FLOORS	2
MAXIMUM HEIGHT IN FEET	10'-0"
ALLOWABLE FLOOR AREA	15,000 SQ. FT. FLOOR
<p>ACCESSIBILITY FOR THE PHYSICALLY HANDICAPPED</p> <p>ALL AREAS EXISTING SERVICE AREAS AND LINDS MUST ACCESSIBLE PER CHAPTER 11. PARKING PROVIDED IS BASED ON EXISTING AVAILABLE PARKING AS BTL.</p>	
<p>TABLE 101.1 REQUIRED FOR REVISIONS</p> <p>TYPE B-3 - ROSE SPRINGFORD</p>	
EXISTING WALLS	0
EXISTING BEARING WALLS	0
EXISTING NON-BEARING WALLS	0
EXISTING CORRIDOR	0
EXISTING AND REVISIONS	N/A
CORRIDOR	0
<p>EXISTING PARKING TO REMAIN, TOTAL OFF STREET PARKING - 11 (INCLUDE 1 BAY)</p> <p>NO NEW WORK TO BE DONE UNDER THIS PERMIT PHASE.</p>	
<p>OCCUPANT LOAD</p> <p>1ST FLOOR OFFICE BUILDING: 1,524 / 100 = 15 PEOPLE</p> <p>2ND FLOOR OFFICE: 1,320 / 100 = 13 PEOPLE</p> <p>3RD FLOOR OFFICE: 892 / 100 = 9 PEOPLE</p> <p>OVERALL TOTAL OCCUPANT LOAD = 37 PEOPLE</p>	



McZaza Design 'Architecture' and Development, LLC
(210) 475-1000 San Antonio, Texas
mcdesignarch.com

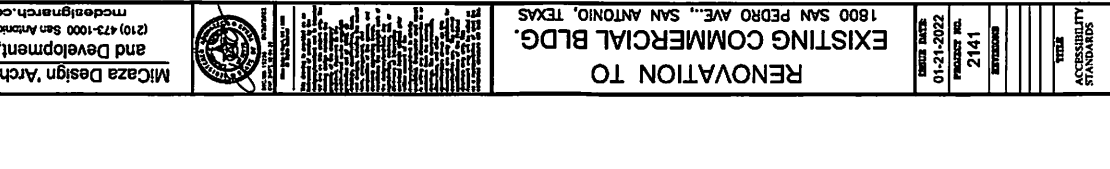
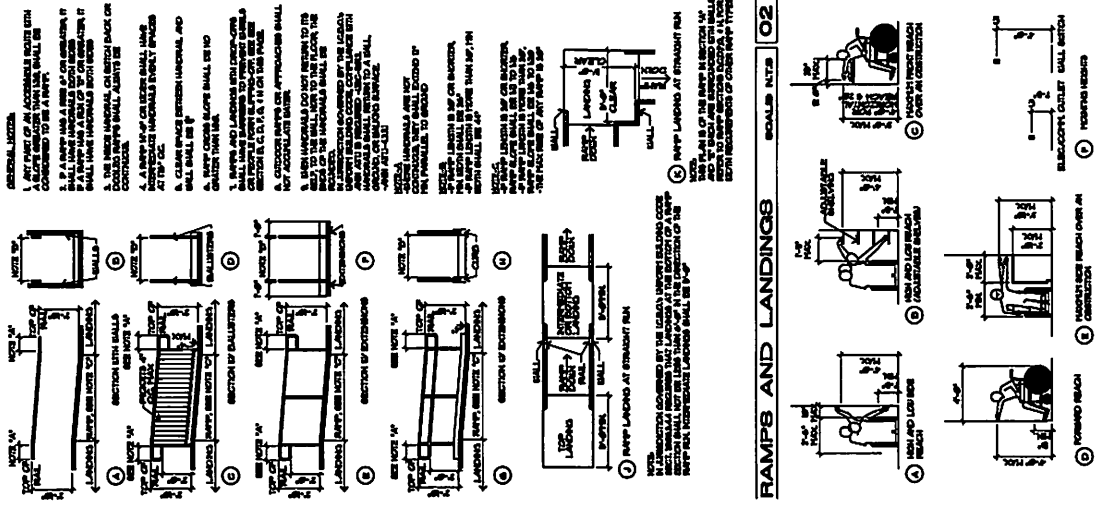
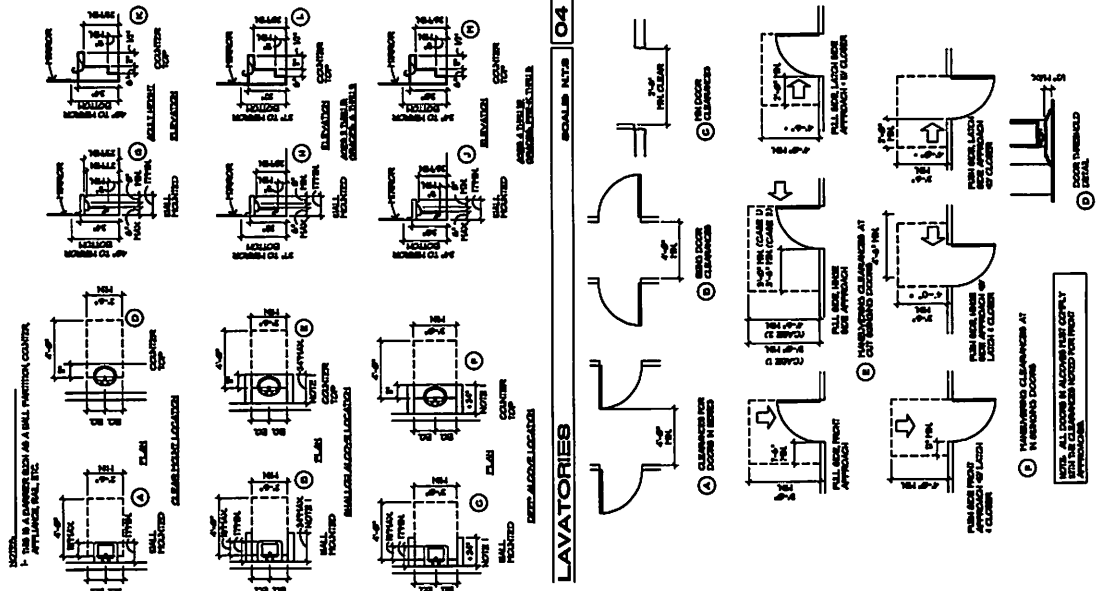
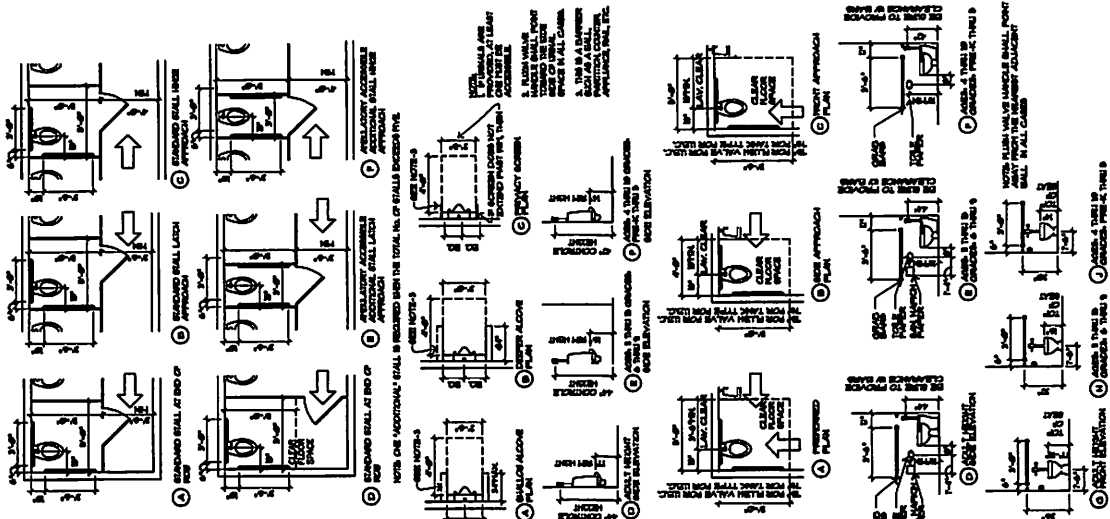


RENOVATION TO
EXISTING COMMERCIAL BLDG.
1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS

DATE: 01-21-2022
PROJECT NO.: 2141
REVISIONS:
TITLE:
COVER SHEET
SHEET:
A0.1

TEXAS ACCESSIBILITY STANDARDS - (If Applicable)

*NOTE: VERIFY W/ TAS WEB SITE FOR ALL LATEST STANDARDS.



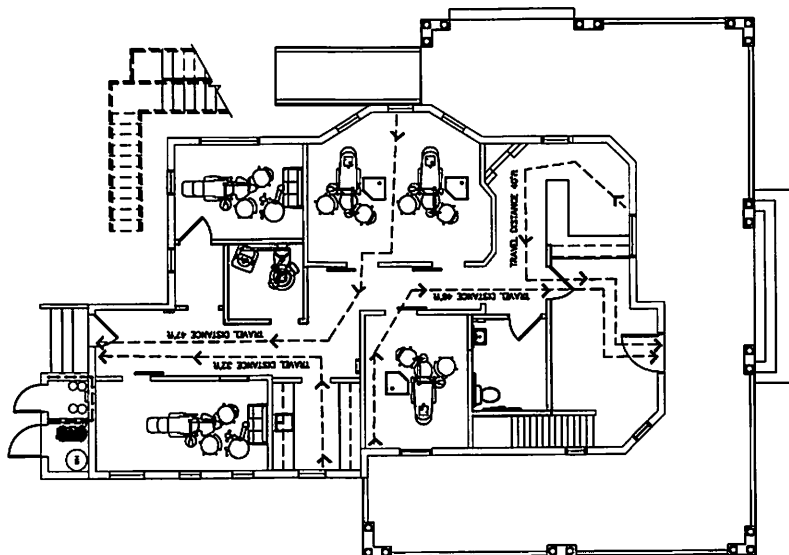
REACH HEIGHTS **01** **03** **05**

*NOTE: ACCESSIBILITY STANDARD GRAPHICS ARE TO PROVIDE A GUIDE TO APPLICABLE ELEMENTS OF ACCESSIBILITY. CONSTRUCTION, CONTRACTOR/CIENT SHALL VERIFY WITH THE TEXAS ACCESSIBILITY STANDARD (TAS) WEB SITE.

[illegible][illegible][illegible]

ISSUE DATES
01-21-2022
PROJECT NO.
2141
REVISIONS
TOTAL
GENERAL NOTES
CHECK
A0.3

RENOVATION TO
EXISTING COMMERCIAL BLDG.
1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS



GENERAL NOTE
1. THIS FLOOR PLAN DIAGRAM DESIGNATES BUILDING EXIT LOCATIONS AND GIVES WORST CASE TRAVEL DISTANCES ONLY.
VERIFY WITH FIRE MARSHALL DIRECTIONS OF EXIT FLOW SIGNAGE.

SCALE: 0/100 - 1-0

LIFE SAFETY FLOOR PLAN

8

30 0-4 - 97 0700



REMOVE EXISTING WALLS AND ALL RELATED MATERIALS. SHOWS ROOFING AND STRUCTURE AS NEEDED, VENTILATION IN AREA OF WALL IS A LOAD BEARING WALL. RECOMMENDATION

- 10 REPAIR AND OR REPLACE ANY DAMAGED EXISTING WALLS, FLOOR DECKING AS NEEDED, PREP FOR NEW PLANT.

=====

DOORING BATH DOORS ETC TO REMAIN

=====

DOORING BATH DOORS ETC TO REMOVED

=====

- NOTED NOTES
- 

GENERAL DEMO NOTES & SPECS (if applicable)

- REPAIR PATCH & REPAIR ALL DALLAGING IN NEW WORK
TO BE COMPLETED PRIOR FOR NEW FINISH AS SPECIFIED

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**PROPOSED
DEMOLITION
PLAN**

DISPATCH

1412

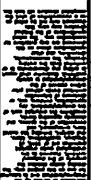
PROJECT NO.

01-21-2022

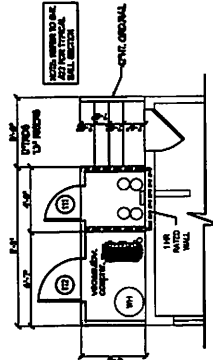
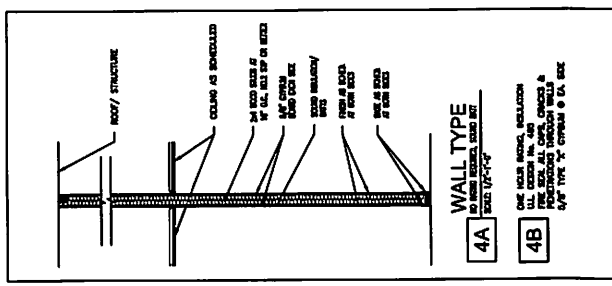
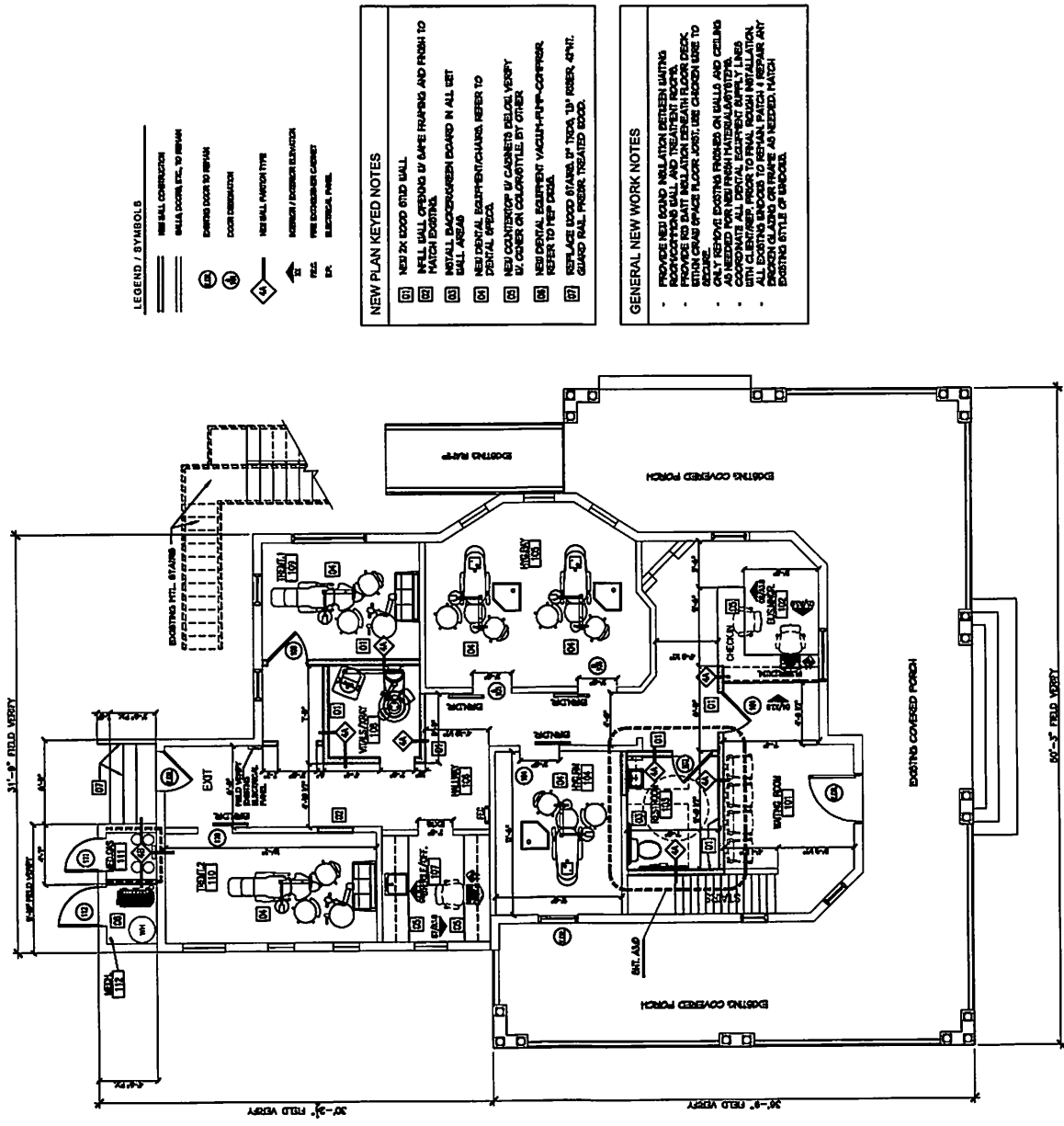
EXPIRE DATE:

RENOVATION TO EXISTING COMMERCIAL BLDG.

1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS



**MiCaza Design 'Architecture
and Development, LLC**
(210) 473-1000 San Antonio, Texas
mcdesign@arch.com



- NEW PLAN KEYED NOTES**
- 01 NEW 2x6 GROSS STUD WALL
 - 02 INFILL WALL OPENINGS w/ SAFE WRAPING AND FINISH TO MATCH EXISTING
 - 03 INSTALL BACKLASHBOARD BOARD IN ALL SET WALL AREAS
 - 04 NEW DENTAL EQUIPMENT CHAIRS. REFER TO DENTAL OFFICE.
 - 05 NEW COUNTERTOP w/ CABINETS BELOW. VERIFY w/ OWNER ON COLOR/MATERIAL BY OTHER
 - 06 NEW DENTAL EQUIPMENT VACUUM-PUMP-COMPRESSOR. REFER TO MEP DECK.
 - 07 REPLACE GROSS STAINLESS STEEL 18\"/>

- GENERAL NEW WORK NOTES**
- PROVIDE NEW SOUND INSULATION BETWEEN EXISTING ROOF/CEILING WALL AND TREATMENT ROOMS
 - PROVIDE NO BAIT INSULATION BETWEEN FLOOR DECK AND EXISTING SPACE FLOOR JOIST. USE CHAIRS USE TO STAY AWAY FROM FLOOR JOIST.
 - ONLY REMOVE EXISTING FINISHES ON WALLS AND CEILING AS NEEDED FOR NEW FINISH MATERIAL APPLICATIONS. DO NOT REMOVE EXISTING FINISHES ON EXISTING WALLS WITH CLADDING. PROCEED TO REPAIR, PATCH, & REPAIR ANY EXISTING CLADDING OR FRAME AS NEEDED. MATCH EXISTING STYLE OF MATERIAL.

- LEGEND / SYMBOLS**
- EXISTING WALL CORRELATION
 - NEW WALL CORRELATION
 - EXISTING DOOR TO REMAIN
 - DOOR CORRELATION
 - NEW WALL PARTITION TYPE
 - WALL / PARTITION ELEVATION
 - NEW EXISTING CABINET
 - ELECTRICAL PANEL
 - EXIT
 - STAIR
 - STAIR





Engineer's Letter of Energy Review

Referenced Project: **Renovation to Existing Commercial Bldg.**
1800 San Pedro Ave.
San Antonio, Texas
A/P#

The project referenced above is being designed under the commercial provisions of the

☒ **2018 IECC**

☐ **ASHRAE 90.1-2013**

In accordance to Information Bulletin IN221, we have reviewed the design of this project for the following energy related items. It is our opinion that the items checked below, as designed, meets the substantial intent of the indicated code. Items not checked will be provided to the City of San Antonio for their review prior to issuance of the building permit.

Code Section	Reference *	Checked Yes/No	Not Required for Project
Mechanical system design criteria - Calculations for Sizing Equipment	C403.2.2, 6.4.2.1		X
Mechanical and service water heating system and equipment types, sizes and efficiencies	C403.2.3, C404.2, 6.4.1.1, 7.4.2		X
Calculations for Maximum Hot Water Volume or Length (IECC)	C404.5		X
Efficiency rating of all refrigeration and freezer equipment	C403.2.14, 6.4.1.1		X
Economizer fault detection and diagnosis	C403.2.4.7		X



Fan motor horsepower (hp) and controls efficiencies	C403.2.12, 6.5.3.1		X
HVAC duct and plenum sealing, and insulation details, Hot Water Piping fluid temperatures and insulation	C403.2.9, C404.4, 6.4.4.1.2-3	X	
Lighting fixtures – Calculations for total connected interior and exterior power	C405.4.1, C405.5.1, 9.2.2.3, 9.4.2		X
Calculations for interior lighting power by the building area method or the space by space method	C405.5.1, 9.2.2, 9.5, 9.6		X

*(Code References: Cxxx.x refers to 2018 IECC section; while 5.x.x, 6.x.x etc., refer to a section in ASHRAE90.1-2013)

If you have any questions, please call.

Respectfully,



P.O. Box 690363
 San Antonio, Texas 78269
 Tel: 210-367-3133
 Firm Registration No. 18287



COMcheck Software Version 4.1.5.1

Interior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: SAN PEDRO DENTAL OFFICE
Project Type: New Construction

Construction Site:
1800 SAN PEDRO RD.
SAN ANTONIO, TX

Owner/Agent:

Designer/Contractor:
DAVID GARZA
Legion Design Group
p.o. box 690363
san antonio, TX 78269
210-393-7708

Additional Efficiency Package(s)

Reduced interior lighting power. Requirements are implicitly enforced within interior lighting allowance calculations.

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B X C)
1-DENTAL OFFICE (Healthcare Facility:Exam/Treatment)	1568	1.51	2368
Total Allowed Watts =			2368

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
1-DENTAL OFFICE (Healthcare Facility:Exam/Treatment)				
LED 1: A: 2x2 Grid troffer: Other:	1	10	37	370
LED 2: AE: 2x2 Emergency Grid Troffer: Other:	1	7	37	259
LED 3: B: 1x2 led strip light fixture: Other:	1	2	28	56
LED 4: C: 6" Dia. Led Downlight: Other:	1	9	12	108
LED 5: CE: 6" Dia. Emergency Downlight: Other:	1	2	12	24
LED 6: E: led vanity type light: Other:	1	1	17	17
Total Proposed Watts =				834

Interior Lighting PASSES: Design 65% better than code

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.1 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Davi R Garza - Electrical Designer
Name - Title

David R Garza
Signature

01-20-2022
Date



Inspection Checklist

Energy Code: 2018 IECC

Requirements: 0.0% were addressed directly in the COMcheck software

Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
C103.2 [PR4] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406 [PR9] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.2.2 [EL22] ¹	Spaces required to have light-reduction controls have a manual control that allows the occupant to reduce the connected lighting load in a reasonably uniform illumination pattern ≥ 50 percent.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1, C405.2.1.1 [EL18] ¹	Occupancy sensors installed in classrooms/lecture/training rooms, conference/meeting/multipurpose rooms, copy/print rooms, lounges/breakrooms, enclosed offices, open plan office areas, restrooms, storage rooms, locker rooms, warehouse storage areas, and other spaces ≤ 300 sqft that are enclosed by floor-to-ceiling height partitions. Reference section language C405.2.1.2 for control function in warehouses and section C405.2.1.3 for open plan office spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1.2 [EL19] ¹	Occupancy sensors control function in warehouses: In warehouses, the lighting in aiseways and open areas is controlled with occupant sensors that automatically reduce lighting power by 50% or more when the areas are unoccupied. The occupant sensors control lighting in each aisleway independently and do not control lighting beyond the aisleway being controlled by the sensor.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1.3 [EL20] ¹	Occupant sensor control function in open plan office areas: Occupant sensor controls in open office spaces ≥ 300 sq.ft. have controls 1) configured so that general lighting can be controlled separately in control zones with floor areas ≤ 600 sq.ft. within the space, 2) automatically turn off general lighting in all control zones within 20 minutes after all occupants have left the space, 3) are configured so that general lighting power in each control zone is reduced by $\geq 80\%$ of the full zone general lighting power within 20 minutes of all occupants leaving that control zone, and 4) are configured such that any daylight responsive control will activate space general lighting or control zone general lighting only when occupancy for the same area is detected.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2, C405.2.2.1, C405.2.2.2 [EL21] ²	Each area not served by occupancy sensors (per C405.2.1) have time-switch controls and functions detailed in sections C405.2.2.1 and C405.2.2.2.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.3, C405.2.3.1, C405.2.3.2 [EL23] ²	Daylight zones provided with individual controls that control the lights independent of general area lighting. See code section C405.2.3 Daylight-responsive controls for applicable spaces, C405.2.3.1 Daylight responsive control function and section C405.2.3.2 Sidelit zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.4 [EL26] ¹	Separate lighting control devices for specific uses installed per approved lighting plans.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.4 [EL27] ¹	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.3 [EL6] ¹	Exit signs do not exceed 5 watts per face.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.6 [EL26] ²	Low-voltage dry-type distribution electric transformers meet the minimum efficiency requirements of Table C405.6.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.7 [EL27] ²	Electric motors meet the minimum efficiency requirements of Tables C405.7(1) through C405.7(4). Efficiency verified through certification under an approved certification program or the equipment efficiency ratings shall be provided by motor manufacturer (where certification programs do not exist).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.8.2, C405.8.2.1 [EL28] ²	Escalators and moving walks comply with ASME A17.1/CSA B44 and have automatic controls configured to reduce speed to the minimum permitted speed in accordance with ASME A17.1/CSA B44 or applicable local code when not conveying passengers.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.9 [EL29] ²	Total voltage drop across the combination of feeders and branch circuits $\leq 5\%$.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

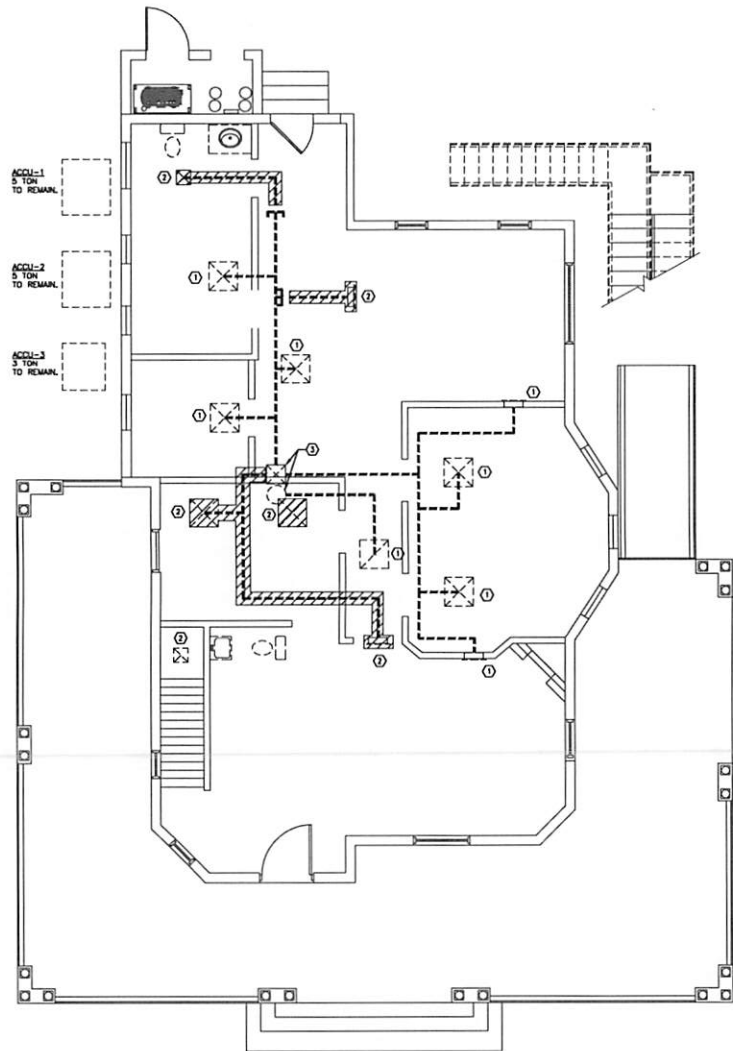
Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C303.3, C408.2.5.2 [FI17] ³	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.4.1 [FI18] ¹	Interior installed lamp and fixture lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Interior Lighting fixture schedule for values.
C408.1.1 [FI57] ¹	Building operations and maintenance documents will be provided to the owner. Documents will cover manufacturers' information, specifications, programming procedures and means of illustrating to owner how building, equipment and systems are intended to be installed, maintained, and operated.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5.1 [FI16] ³	Furnished as-built drawings for electric power systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.3 [FI33] ¹	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)



1 FIRST FLOOR DEMOLITION PLAN - MECHANICAL
SCALE: 1/4"=1'-0"

MECHANICAL KEYED NOTES:

- ① EXISTING AIR DEVICE TO REMAIN. MECHANICAL CONTRACTOR SHALL VERIFY AIR DEVICE CONDITION AND CLEAN, REFURBISH OR REPLACE AS REQUIRED.
- ② EXISTING AIR DEVICE TO BE REMOVED.
- ③ EXISTING EXHAUST FAN TO REMAIN. MECHANICAL CONTRACTOR IS RESPONSIBLE TO ENSURE EXHAUST FAN IS IN GOOD WORKING CONDITION AND ENSURE EXHAUST VENT DISCHARGES TO OUTSIDE. REPLACE, REFURBISH AND/OR RELOCATED AS REQUIRED.
- ④ EXISTING SUPPLY AND RETURN DUCTS UP IN CHASE. MECHANICAL CONTRACTOR IS RESPONSIBLE TO VERIFY CONDITION OF DUCTWORK TO ENSURE IS IN GOOD WORKING CONDITION. REPAIR, REFURBISH AND/OR REPLACE AS REQUIRED.

GENERAL MECHANICAL NOTES:

1. MECHANICAL CONTRACTOR SHALL PERFORM A SITE VISIT AND PROVIDE AN ASSESSMENT REPORT OF THE CONDITION OF ALL THE EXISTING DUCTWORK AND EXISTING AIR DEVICES PRIOR TO REMOVING DAMAGED DUCT AND AIR DEVICES. THE INTENT OF THE SITE VISIT IS TO BE ABLE TO REUSE THE EXISTING DUCTWORK AND AIR DEVICES AS MUCH AS POSSIBLE.
2. ANY DAMAGED DUCTWORK AND/OR AIR DEVICES SHALL BE REMOVED. THIS ASSESSMENT SHALL BE PERFORMED PRIOR TO COMMENCING DEMOLITION WORK.
2. ANY EXISTING DUCTWORK AND/OR AIR DEVICES FOUND IN GOOD CONDITION SHALL REMAIN FOR FUTURE USE.
3. MECHANICAL CONTRACTOR SHALL VERIFY THE CONDITION OF OUTDOOR CONDENSING UNITS AND INDOOR AIR HANDLING UNITS TO ENSURE SYSTEMS ARE OPERATING IN OPTIMUM CONDITIONS INCLUDING REFRIGERANT PIPING. INFORM OWNER OF ANY ISSUES WITH SYSTEMS PRIOR TO REMOVING EQUIPMENT.

MECHANICAL LEGEND	
---	EXISTING TO REMAIN
----	EXISTING TO BE REMOVED
----	EXISTING TO BE RELOCATED



1-20-22



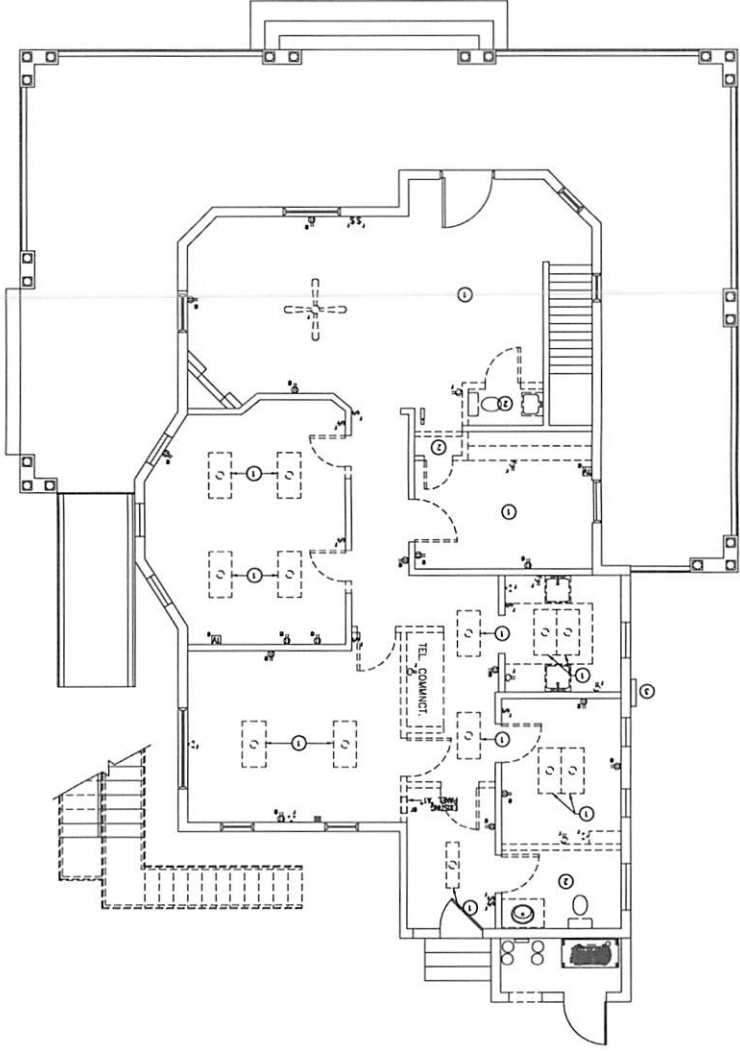
RENOVATION TO
EXISTING COMMERCIAL BLDG.
1800 SAN PEDRO AVE... SAN ANTONIO, TEXAS

ISSUE DATE:
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2141
REVISIONS

TITLE
FIRST FLOOR
DEMOLITION PLAN
MECHANICAL

SHEET
DM1.0

1 SCALE: 1/4"=1'-0" FIRST FLOOR DEMOLITION PLAN - ELECTRICAL



ELECTRICAL LEGEND

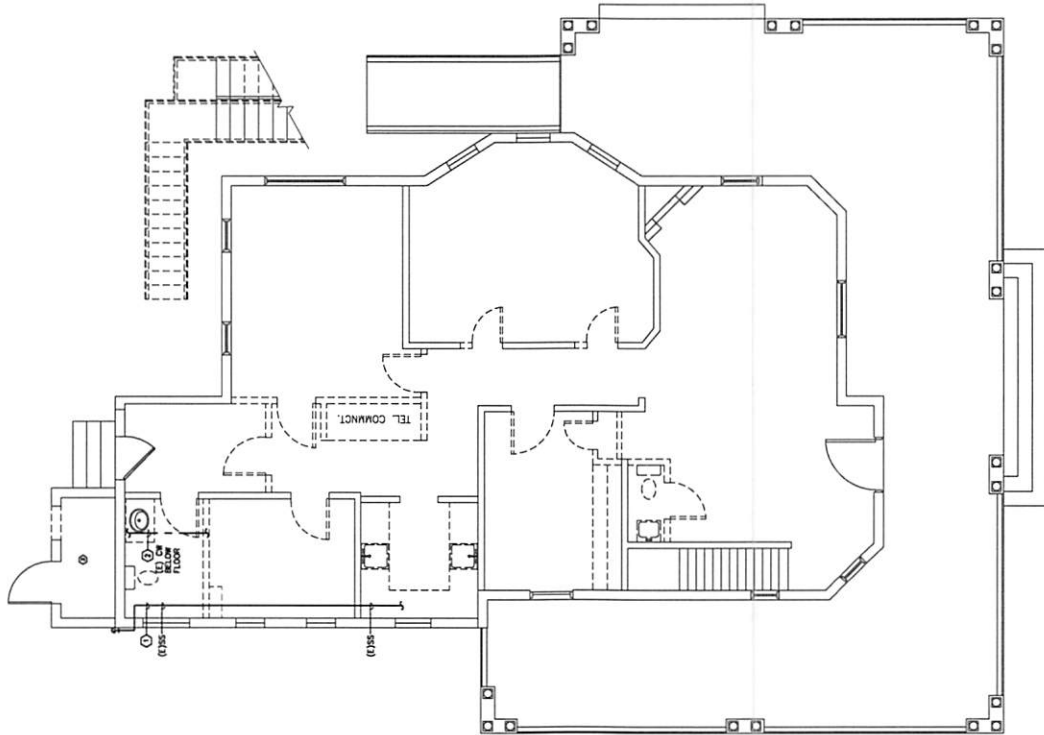
- REMAIN TO BE REMOVED
- REMAIN TO BE REMOVED
- REMAIN TO BE REMOVED

DEMOLITION KEYED NOTES:

- 1 REMAIN TO BE REMOVED AND REPLACED WITH NEW LIT
- 2 REMAIN TO BE REMOVED AND REPLACED WITH NEW LIT
- 3 REMAIN TO BE REMOVED AND REPLACED WITH NEW LIT



DE1.0	RENOVATION TO EXISTING COMMERCIAL BLDG. 1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS
<p>PROJECT NO. 2141</p> <p>DATE 1-20-2022</p> <p>ISSUE DATE</p> <p>REVISIONS</p> <p>TITLE</p> <p>FIRST FLOOR DEMOLITION PLAN ELECTRICAL</p> <p>DESIGNER CHECKED IN CHARGE</p>	



1 FIRST FLOOR DEMOLITION PLAN - PLUMBING
SCALE: 1/4"=1'-0"

- PLUMBING GENERAL NOTES**
1. IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO VERIFY THE EXISTING PLUMBING SYSTEM AND ALL EXISTING PLUMBING FIXTURES AND ACCESSORIES PRIOR TO COMMENCING WORK.
 2. THE PLUMBING CONTRACTOR SHALL FIELD VERIFY THE EXISTING PLUMBING SYSTEM AND REPORT ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO MAKING ANY NEW CONNECTIONS OR TIE-INS.
 3. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A COMPLETE PROPERLY WORKING PLUMBING SYSTEM AT END OF CONSTRUCTION.

- PLUMBING KEYED NOTES**
1. APPROXIMATE LOCATION OF EXISTING PLUMBING SHALL BE SHOWN ON THE DEMOLITION PLAN. THE PLUMBING CONTRACTOR SHALL VERIFY THE EXISTING PLUMBING SYSTEM AND REPORT ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO MAKING ANY NEW CONNECTIONS.
 2. APPROXIMATE LOCATION OF EXISTING PLUMBING SHALL BE SHOWN ON THE DEMOLITION PLAN. THE PLUMBING CONTRACTOR SHALL VERIFY THE EXISTING PLUMBING SYSTEM AND REPORT ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO MAKING ANY NEW CONNECTIONS.
 3. APPROXIMATE LOCATION OF EXISTING PLUMBING SHALL BE SHOWN ON THE DEMOLITION PLAN. THE PLUMBING CONTRACTOR SHALL VERIFY THE EXISTING PLUMBING SYSTEM AND REPORT ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO MAKING ANY NEW CONNECTIONS.

RENOVATION TO
EXISTING COMMERCIAL BLDG.
1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS

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TITLE
FIRST FLOOR
DEMOLITION PLAN
PLUMBING

SHEET
DP1.1



LDG
LARRY D. GRIFFIN, P.E.
1800 SAN PEDRO AVE., SUITE 100
SAN ANTONIO, TX 78205
(210) 343-3333

[illegible]

MARK	TYPE	CFM	RPM	EXT. S.P.	DWVE TYPE	HP	ELECTRICAL DATA	PHASE	AREA SERVED	W/F & MODEL	NOTES (SEE BELOW)
							VOLTS				
							WATTS				
EF-2	10000	150	1023	0.25	DIRECT	115	110	1	1000	1-A,5A,8,10,11	
EF-3	10000	200	1097	0.25	DIRECT	115	110	1	1000	1-A,5A,7,8,9,10	

EXHAUST FAN NOTES:

1. PROVIDED AND INSTALLED BY MECHANICAL CONTRACTOR. COOK, PINK, OR GREENHECK.
2. STARTERS BY ELECTRICAL CONTRACTOR.
3. FAN SHALL BE SWITCHED WITH LIGHTS.
4. PROVIDE 10000 CFM FAN WITH 1000 RPM AND 1000 WATTED SPEED CONTROLLER.
5. PROVIDE INDOOR/OUT DAMPER.
6. WHITE FINISH.
7. INTERLOCK FAN WITH HOD DETECTED/ARMED.
8. PROVIDE 10000 CFM FAN WITH 1000 RPM AND 1000 WATTED SPEED CONTROLLER.
9. FAN TO BE SUPPLIED FROM STRUCTURE ABOVE.
10. MINIMUM 10" CLEARANCE BETWEEN EXHAUST VENT CAP AND STRUCTURE ABOVE.
11. PROVIDE WITH LINE VOLT THERMOSTAT. SET AT INTX.

AIR DEVICES

1. CEILING OFFISOS (CO) SHALL BE TITUS 120-AA, 24-04, TYPE 3, F20 WHITE FINISH.

2. CEILING OFFISOS (CO) SHALL BE TITUS 120-AA, 12-12, TYPE 1, F20 WHITE FINISH.

3. SUPPLY REGISTERS (RO) SHALL BE TITUS 27-05, WHITE FINISH.

4. RETURN REGISTERS (RO) SHALL BE TITUS 30-02, WHITE FINISH.

5. RETURN COLLECT (CO) SHALL BE TITUS 50-07, WHITE FINISH.

APPROVED MANUFACTURERS SHALL BE TITUS, PRICE REQUESTER.

ITEM #	AREA	VOLTAGE	AMPS	WATTS	WTR	MODEL #	NOTES
DI-1	FIRE RISER RM.	120V/1Ø	12.5	1500	5130	MARKEL EXOSDTHW	1,2,3,4

ELECTRIC HEATER TUBES, MARKEL 5 BAGS OF DESIGN OR APPROVED EQUAL.

1. PROVIDED AND INSTALLED BY MECHANICAL CONTRACTOR.
2. PROVIDE WITH UNROUTED THERMOCOP AND DISCONNECT SWITCH.
3. PROVIDE WITH 1/2" DIA. 1/4" THICK TUBES, 10' LONG, 1000 WATT, 120V, 1Ø.
4. PROVIDE HIGH TEMPERATURE CLOSET, AND TUBING PER I.L.C.

MARK	DESCRIPTION
1	AIR SOURCE INLET - SOURCE TYPE AND DESIGN CFM
2	QUANTITY/AIR SIZE & DANCE TYPE
3	DUCT WITH DIMENSION - MHD/GEOPH
4	SUPPLY AIR S.A.
5	RETURN OR TRANSFER AIR R.A.
6	EXHAUST AIR E/T
7	ELBOW, SMOOTH WITH TURNING VANES
8	ELBOW, ATTACHED WITH TURNING VANES
9	THERMOSTAT SERVING XXXXX
10	MANOSTAT SERVING XXXXX
11	SMOKE DETECTOR
12	SHOCKS HING KEYED NOTE
13	FLEXIBLE DUCT
14	MANUAL VOLUME DAMPER V.D
15	MOTORIZED DAMPER MD
16	ROOFTOP UNIT
17	CONDENSATE DRAIN PIPING
18	BLANK OFF AIR FLOW IN THIS DIRECTION

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M2.0

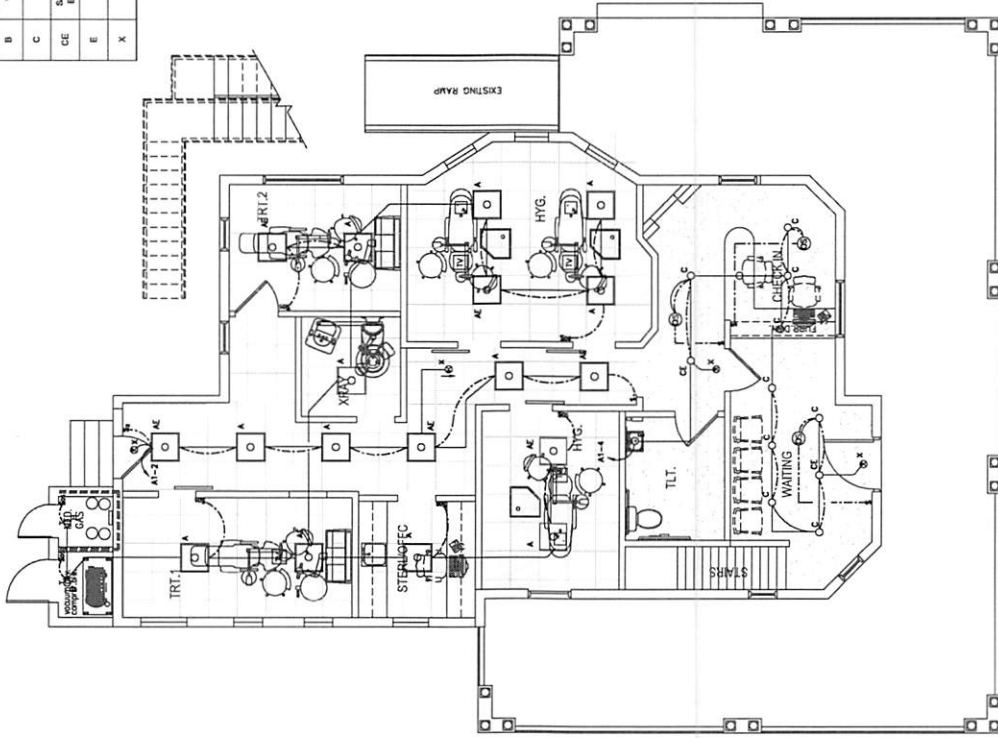
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LIGHTING FIXTURE SCHEDULE									
MARK NO.	DESCRIPTION	MANUFACTURER	MODEL NO.	MOUNTING	LAMP TYPE	QTY	WATTS PER LAMP	VOLTAGE	EXTENDED NOTES
A	2X2 LED GRID TROFFER	LITHONIA	EPANL 2X2-400LM-80CRI-40K-MV10-27-MOLT	GRID	LED	1	37	MAOLT	
AE	SAME AS TYPE 'A', EXCEPT WITH EMERGENCY BATTERY BALLAST	LITHONIA	EPANL 2X2-400LM-80CRI-40K-MV10-27-MOLT	GRID	LED	1	37	MAOLT	
B	WALL MOUNTED LED SCONCE	LITHONIA	CLX136-3750LM-807-FDL-MVOLT-0210-30K	SURFACE	LED	1	28	MAOLT	
C	6" DIA LED DOWNLIGHT	LITHONIA	66SEMY-LED-30K-80CRI-48	DTY BOARD	LED	1	12	MAOLT	
CE	SAME AS TYPE 'C', EXCEPT WITH EMERGENCY BATTERY BALLAST	LITHONIA	66SEMY-LED-30K-80CRI-48	DTY BOARD	LED	1	12	MAOLT	
E	WATTY LIGHT - LED	LITHONIA	FWATL 2X4-400LM-1-30K-80CRI-48	SURFACE	LED	1	17	MAOLT	
X	EXT LED	LITHONIA	LQMS-W 1-18-MVOLT-ELN	SURFACE	LED	2	1.4	MAOLT	

LIGHTING GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING AND PROPOSED LIGHTING ON PLANS IS NOT IN CONFLICT WITH ANY OTHER REQUIREMENTS. CONTRACTOR SHALL VERIFY FIELD LOCATIONS OF DEVICES ARE DIAGRAMMATICALLY CORRECT PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO PROCEEDING.
2. LOCATIONS OF DEVICES ARE DIAGRAMMATICALLY CORRECT PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO PROCEEDING.
3. CONNECT EXISTING TO NEAREST UNWITTED LIGHTING SOURCE.
4. PROVIDE OPENING SYSTEM WITH ALL NECESSARY ACCESSORIES FOR A COMPLETE INSTALLATION. THIS INCLUDES BUT IS NOT LIMITED TO: WALL MOUNTED, TROFFER, SCONCE, DOWNLIGHT, AND SURFACE MOUNTED. PROVIDE THE FOLLOWING INFORMATION:
 - a. TYPICAL ROOMS
 - b. LIGHTING TO BE CONTROLLED BY THE LOCAL SWITCH
 - c. MANUAL OVERRIDE "OFF" CAPABILITY
 - d. SEPARATE FUTURE
5. REFERENCE LIGHT FUTURE SCHEDULE FOR ADDITIONAL FUTURE INFORMATION.



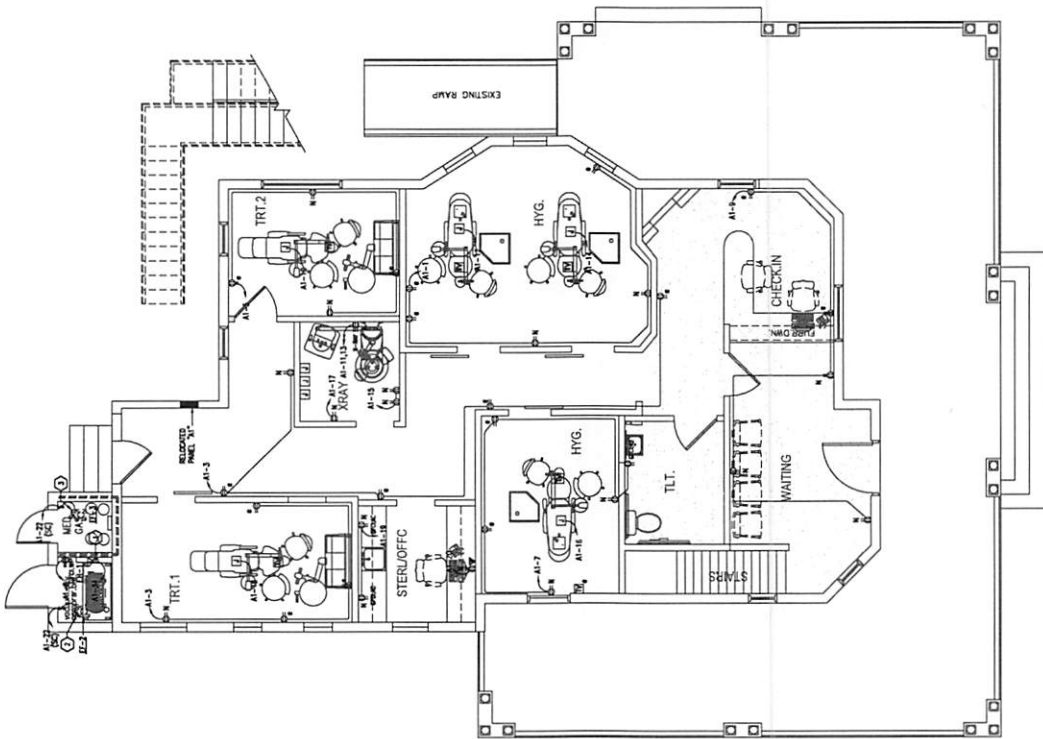
1 FIRST FLOOR PLAN - LIGHTING
SCALE: 1/4"=1'-0"

1-20-22



RENOVATION TO
EXISTING COMMERCIAL BLDG.
1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS

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PROJECT NO.:	2141
KEYWORDS:	
TITLE:	FIRST FLOOR PLAN - LIGHTING
REVISION:	E1.0



1 FIRST FLOOR PLAN - POWER
SCALE: 1/4"=1'-0"

- POWER GENERAL NOTES:**
1. LOCATION OF DEVICES ARE INDICATED BY SYMBOLS. EXISTING DEVICES SHALL BE REMOVED AND NEW DEVICES SHALL BE INSTALLED AS SHOWN. ALL NEW DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE TEXAS ELECTRICAL CODE (TEC).
 2. ALL NEW DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE TEXAS ELECTRICAL CODE (TEC).
 3. CONDUIT LINES OF DEVICES ARE INDICATED BY DASHED LINES. CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE TEXAS ELECTRICAL CODE (TEC).
 4. CONDUIT LINES OF DEVICES ARE INDICATED BY DASHED LINES. CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE TEXAS ELECTRICAL CODE (TEC).
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- ELECTRICAL LEGEND**
- EXISTING ELECTRICAL DEVICE
 - NEW ELECTRICAL DEVICE

- POWER KEYED NOTES:**
1. PROVIDE A 20A BREAKER WITH A DISCONNECT SWITCH FOR THE 20A-1 CIRCUIT. THE DISCONNECT SWITCH SHALL BE INSTALLED IN THE MAIN ELECTRICAL PANEL.
 2. PROVIDE A 20A BREAKER WITH A DISCONNECT SWITCH AND A 20A-1 CIRCUIT. THE DISCONNECT SWITCH SHALL BE INSTALLED IN THE MAIN ELECTRICAL PANEL.
 3. PROVIDE A 20A BREAKER WITH A DISCONNECT SWITCH AND A 20A-1 CIRCUIT. THE DISCONNECT SWITCH SHALL BE INSTALLED IN THE MAIN ELECTRICAL PANEL.

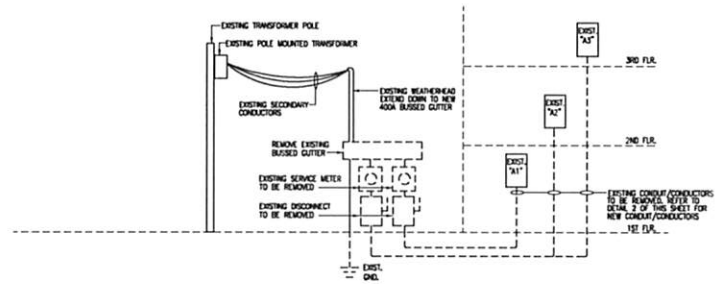
RENOVATION TO EXISTING COMMERCIAL BLDG. 1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS

ISSUE DATE:	1-20-2022
PROJECT NO.:	2141
REVISIONS:	
TITLE:	FIRST FLOOR PLAN - POWER
REVISION:	E1.1

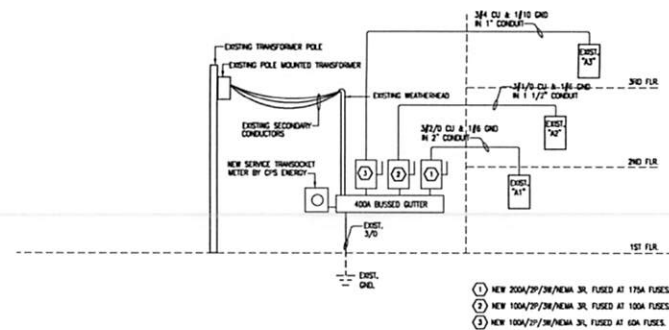
1-20-22



LDG
DESIGN GROUP, LLC
1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS 78215
214.555.1234



1 ELECTRICAL ONE-LINE RISER DEMOLITION DIAGRAM
SCALE: NOT TO SCALE



2 NEW ELECTRICAL ONE-LINE RISER DIAGRAM
SCALE: NOT TO SCALE



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1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS

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TITLE	SECOND FLOOR PLAN ELECTRICAL RISER DIAGRAM
DESIGNER	E2.0

EXISTING PANELBOARD A2									
PROJECT:		EXIST A2		MOUNTING		RECESSED			
BUILDING:		EXIST RENOVATION		TYPE		TYPE			
CITY/STATE:		MAN SERVICE ENTRANCE		M.O.		150A			
VOLTAGE:		240 120		M.O.		150A			
PHASE:		1		M.O.		150A			
SUBMITTED LUGS:		1		M.O.		150A			
CIRCUIT DESCRIPTION		TYPE		LOAD		TYPE		NOTE	
LOAD		VA		VA		VA			
EXISTING LIGHTING		2	200	201	1	2	201	1	CIRCUIT DESCRIPTION
EXISTING RECEPTACLES		1	200	201	3	1	201	3	EXISTING LIGHTING
EXISTING CIRCUIT		1	200	201	3	1	201	3	EXISTING LIGHTING
EXISTING CIRCUIT		1	200	201	3	1	201	3	BURIED SPACE ONLY
EXISTING CIRCUIT		1	200	201	3	1	201	3	EXISTING HEATING
SPARE		1	200	201	3	1	201	3	EXISTING AC
SPARE		1	200	201	3	1	201	3	BURIED SPACE ONLY
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SPARE		1	200	201	3	1	201	3	BURIED SPACE ONLY
SPARE		1	200	201	3	1	201	3	

SCALE: 1/4"=1'-0"

1-20-

SEAL OF THE STATE OF TEXAS
ALBERTO C. MARTINEZ
1022340
JAN 20 1964

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RENOVATION TO
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1800 SAN PEDRO AVE... SAN ANTONIO, TEXAS

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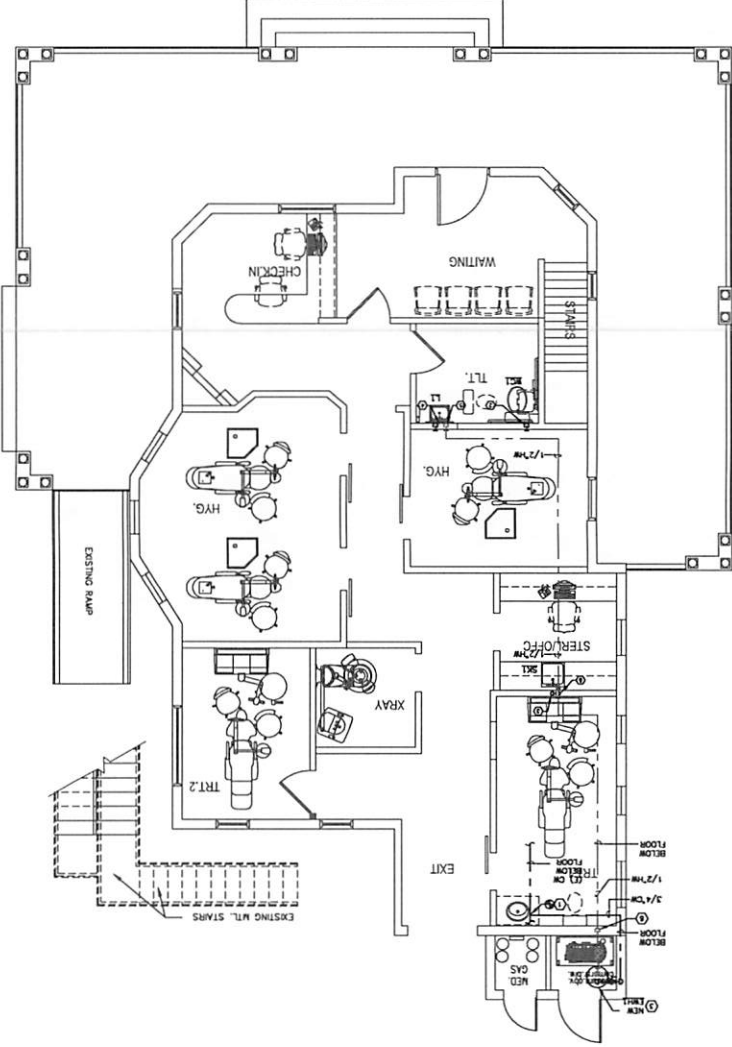
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1117

THE

FIRST FLOOR PLAN
SANITARY WASTE
AND VENTP1.1
SHEET

1 SCALE: 1/4" = 1'-0" FIRST FLOOR PLAN - DOMESTIC WATER



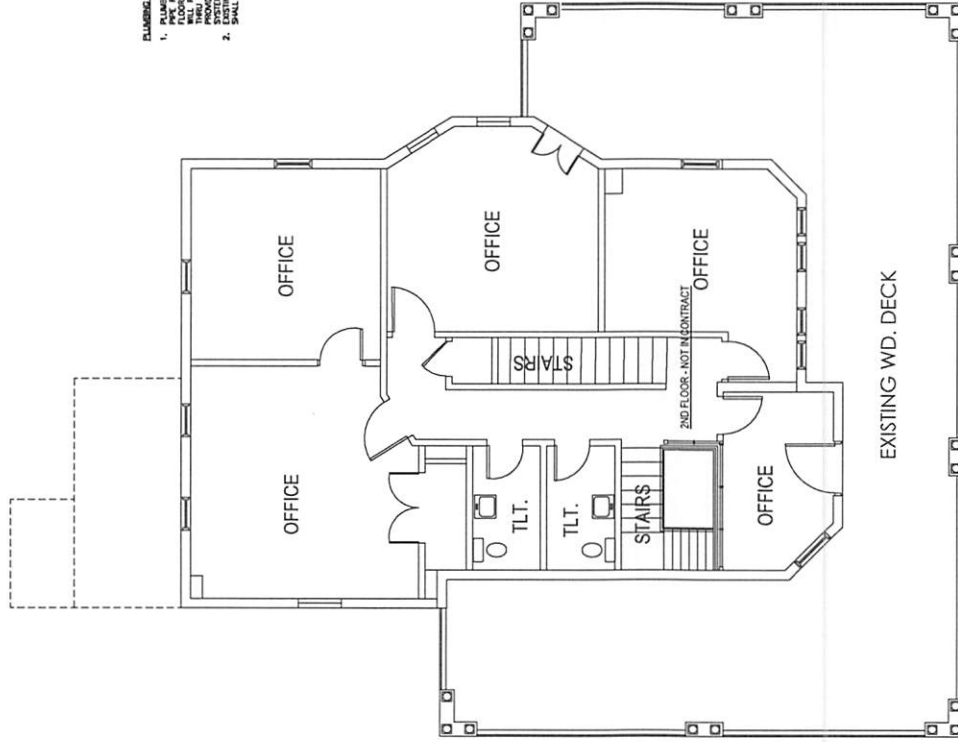
- PLUMBING KEYED NOTES:**
1. CONNECT ALL FINAL EQUIPMENT CONNECTIONS WITH DENTAL EQUIPMENT SUPPLIES AND WASTE PIPING. PROVIDE PROPER CONNECTIONS TO ALL EQUIPMENT.
 2. PROVIDE NECESSARY BACKFLOW PREVENTION DEVICES AND REQUIRED PER CODE FOR DENTAL EQUIPMENT. COORDINATE WITH EQUIPMENT SUPPLIER AND INSTALLER.
 3. IF DENTAL EQUIPMENT IS REQUIRED TO HAVE A WATER SUPPLY, IT SHALL BE INSTALLED AS SHOWN WITH SUPPLY AND WASTE PIPING. ALL OR PIPING SHOWN SHALL BE INSTALLED AS SHOWN WITH SUPPLY AND WASTE PIPING. ALL OR PIPING SHOWN SHALL BE INSTALLED AS SHOWN WITH SUPPLY AND WASTE PIPING.
 4. PLUMBING CONNECTION WILL INSTALL THE WATER SUPPLY AND WASTE PIPING. ALL OR PIPING SHOWN SHALL BE INSTALLED AS SHOWN WITH SUPPLY AND WASTE PIPING.
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 6. PLUMBING CONNECTION TO PROVIDE AND INSTALL ALL WATER SUPPLY DEVICES FOR DENTAL EQUIPMENT. ALL WATER SUPPLY DEVICES FOR DENTAL EQUIPMENT SHALL BE INSTALLED AS SHOWN WITH SUPPLY AND WASTE PIPING.
 7. PLUMBING CONNECTION SHALL COMPLETE AND BACKFLOW PREVENTION DEVICES FOR DENTAL EQUIPMENT. ALL WATER SUPPLY DEVICES FOR DENTAL EQUIPMENT SHALL BE INSTALLED AS SHOWN WITH SUPPLY AND WASTE PIPING.
 8. PLUMBING CONNECTION SHALL COMPLETE AND BACKFLOW PREVENTION DEVICES FOR DENTAL EQUIPMENT. ALL WATER SUPPLY DEVICES FOR DENTAL EQUIPMENT SHALL BE INSTALLED AS SHOWN WITH SUPPLY AND WASTE PIPING.
 9. GENERAL DENTAL PLUMBING LIMITS SHOWN ARE FOR DENTAL PLUMBING LIMITS. ALL OR PIPING SHOWN SHALL BE INSTALLED AS SHOWN WITH SUPPLY AND WASTE PIPING.
 10. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE. ALL OR PIPING SHOWN SHALL BE INSTALLED AS SHOWN WITH SUPPLY AND WASTE PIPING.
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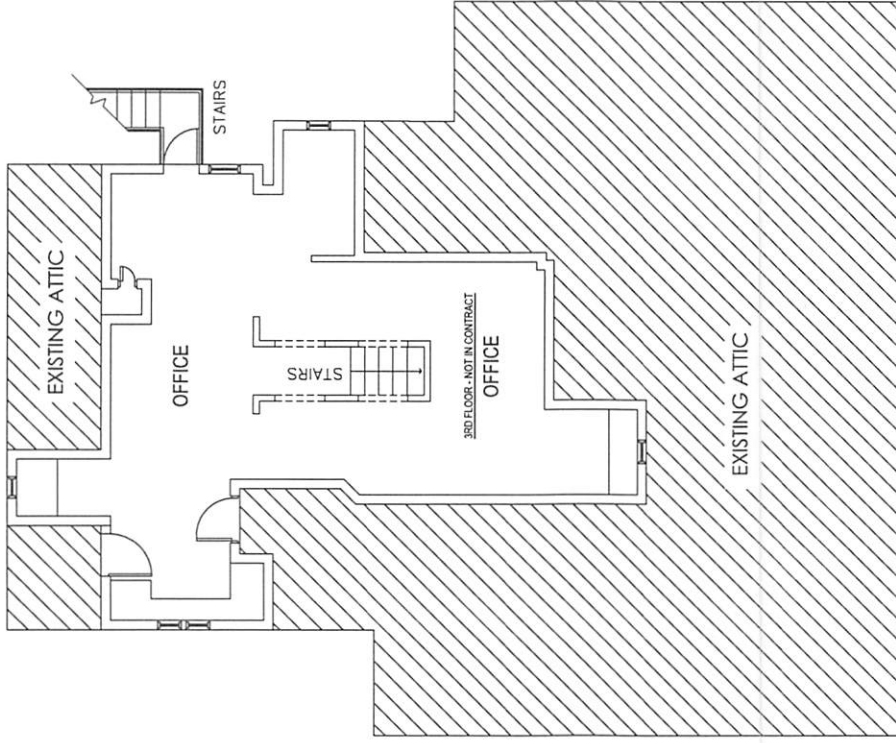
RENOVATION TO EXISTING COMMERCIAL BLDG.
1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS

PROJECT NO. 2141
ISSUE DATE 1-20-2022
TITLE FIRST FLOOR PLAN DOMESTIC WATER
DATE P1.2

- PLUMBING GENERAL NOTE:
1. PLUMBING CONTRACTOR SHALL COORDINATE ANY NEW OR EXISTING PLUMBING WITH ALL OTHERS ON EACH FLOOR. IF NECESSARY, PLUMBING CONTRACTOR SHALL PROVIDE A PROPER WORKING SANITARY WASTE SYSTEM. A PROPER WORKING SANITARY WASTE SHALL BE INSTALLED ON SECOND FLOOR.
 2. EXISTING PLUMBING FEATURES ON SECOND FLOOR SHALL REMAIN AS IS.



1 SECOND FLOOR PLAN - PLUMBING
SCALE: 1/4"=1'-0"

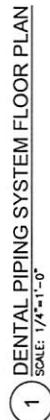


2 THIRD FLOOR PLAN - PLUMBING
SCALE: 1/4"=1'-0"



RENOVATION TO
EXISTING COMMERCIAL BLDG.
1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS

ISSUE DATE:	1-20-2022
PROJECT NO.	2141
REVISIONS	
TITLE	SECOND AND THIRD FLOOR PLAN PLUMBING
DESIGNER	P1.3

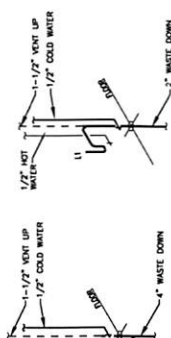
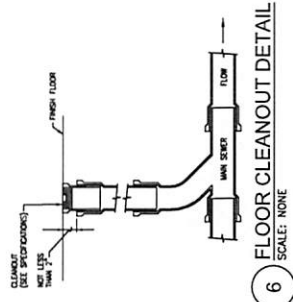
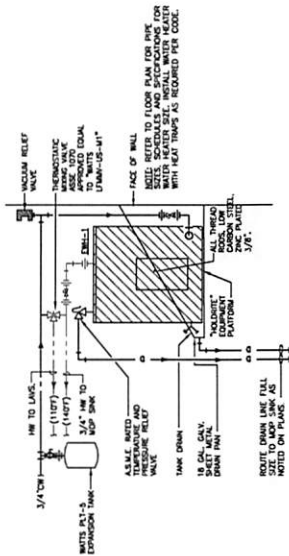
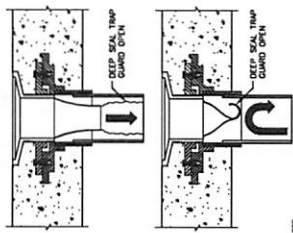
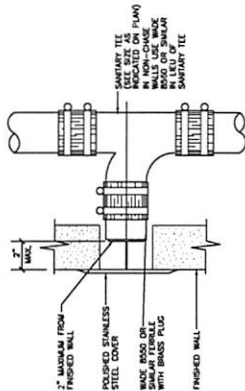
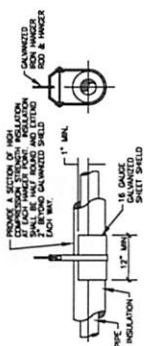
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ISSUE DATE	1-20-2022
PROJECT NO.	2141
REVISIONS	
TITLE	DENTAL PUMP SYSTEM FLOOR PLAN
SHEET	P2.0

1-20-22



LDG
DESIGN GROUP, LLC
FIRM # NC 12758
PO BOX 8065
SAN ANTONIO, TX 78258
CITY 254-4040
CITY 254-4040
CITY 367-3133



RENOVATION TO
EXISTING COMMERCIAL BLDG.
1800 SAN PEDRO AVE., SAN ANTONIO, TEXAS

ISSUE DATE:	11-20-2022
PROJECT NO.	2141
REVISIONS	

Full

PLUMBING

SHEET
P3.0



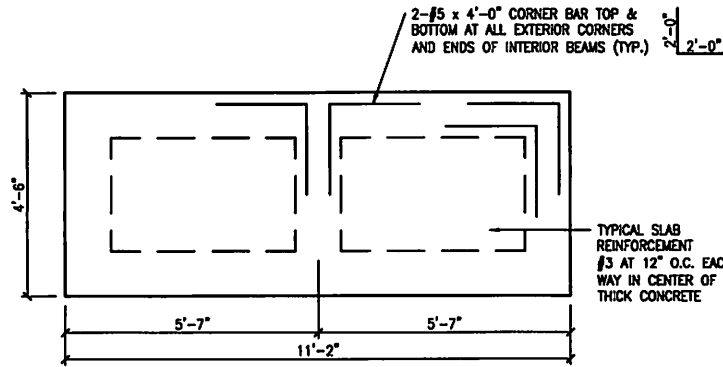
LDG
DESIGN GROUP, LLC

PO BOX 60063
SAN ANTONIO, TX 78269
(210) 794-0640
(210) 367-3133

FINM REG.
NO. 18297

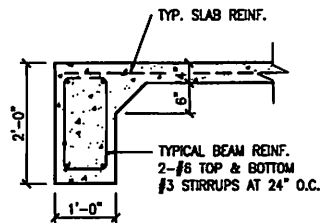
GENERAL NOTES:

1. THE AREA TO BE OCCUPIED BY THE FLOOR SLAB SHALL BE STRIPPED OF ALL VEGETATION AND TOP SOIL.
2. THE FILL MATERIAL SHALL BE GRANULAR, CRUSHED LIMESTONE AND HAVE A PLASTICITY INDEX RANGE OF 7 TO 15, AND MAXIMUM LIQUID LIMIT OF 40. TRENCH EXCAVATION SHALL NOT BE USED AS A FILL MATERIAL.
3. REINFORCING BARS SHALL BE NEW BILLET STEEL MEETING REQUIREMENTS OF ASTM 615. #3 BARS SHALL BE GRADE 40, #4 BARS AND LARGER SHALL BE GRADE 60.
4. REINFORCING SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI MANUAL ACI 315. ALL BARS SHALL BE SUPPORTED IN BEAMS AND SLABS WITH CHAIRS OR SLAB BOLSTERS. BEAM AND SLAB REINFORCEMENT SHALL BE CONTINUOUS.
5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. CONCRETE MIX SHALL NOT CONTAIN MORE THAN 20% FLY ASH.
6. BEAM REINFORCING SHALL BE AS SHOWN ON BEAM SECTIONS. CORNER BARS AND BARS AT ENDS OF INTERIOR BEAMS SHALL BE AS SHOWN ON PLAN. FOR EXTERIOR BEAM DEPTHS GREATER THAN 48" PROVIDE STIRRUP SPACING OF 18" O.C. AND #4 BARS AT 12" O.C. AT OUTSIDE FACE.
7. SLAB REINFORCING SHALL BE AS SHOWN ON THE PLAN AND 2" CLEAR FROM TOP OF SLAB. EXTEND SLAB REINFORCING TO TOP OUTSIDE BARS OF PERIMETER BEAMS. START SLAB SPACING NOT MORE THAN 6" FROM INSIDE BEAM BAR.
8. ALL BEAM DEPTH DIMENSIONS ARE MINIMUM. ALL INTERIOR BEAMS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL. ALL EXTERIOR BEAMS SHALL EXTEND A MINIMUM OF 18" INTO UNDISTURBED SOIL.
9. ALL BEAM EXCAVATIONS SHALL BE CLEANED OF ANY LOOSE FILL PRIOR TO CONCRETE PLACEMENT.
10. WATERPROOFING BELOW SLAB AREAS SHALL BE EQUAL TO 6 MIL "VISOQUEEN" WITH ALL JOINTS LAPPED 12" AND TAPED CONTINUOUSLY. WATERPROOFING SHALL EXTEND ACROSS BOTTOM OF INTERIOR AND EXTERIOR BEAMS.
11. ALL CONDUIT OR PLUMBING LINES IN SLAB SHALL BE PLACED BELOW REINFORCING. COPPER LINES SHALL BE SHEATHED IN PLASTIC.
12. WHEN CONCRETE POUR OCCURS AT OR ABOVE 85 DEGREES F. (AIR TEMPERATURE), ADD A RETARDER TO THE MIX IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. USE POZZOLITH TYPE 300-R.
13. BACKFILL AROUND PERIMETER TO PROVIDE DRAINAGE AWAY FROM FOUNDATION A MINIMUM OF 6" IN 5 FT.
14. THE CONTRACTOR SHALL VERIFY ALL SLAB DIMENSIONS WITH THE ARCHITECT OR DESIGNER AND SHALL SEE ARCHITECTURAL DRAWINGS FOR ANY EMBEDDED ITEMS BEFORE POURING CONCRETE.
15. THE CONTRACT STRUCTURAL DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. PROVIDE ALL MEASURES REQUIRED TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS, DURING CONSTRUCTION; INCLUDING BRACING, SHORING FOR CONSTRUCTION, EQUIPMENT, SHORING FOR THE BUILDING, FORMS AND SCAFFOLDING, SHORING OF RETAINING WALLS AND OTHER TEMPORARY SUPPORTS AS REQUIRED.
16. CONTACT THE ENGINEER AT 210-454-5111 FOR ANY QUESTIONS OR FOR INSPECTIONS.

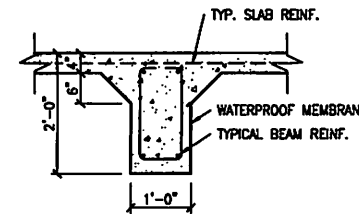


1 FOUNDATION PLAN
SCALE: 3/8" = 1'-0"

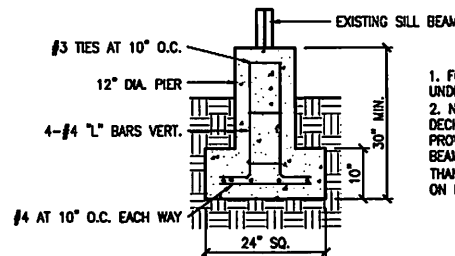
REINFORCEMENT SPLICE SCHEDULE	
BAR SIZE	SPLICE (IN.)
3	15
4	20
5	26
6	31
7	36
8	42



2 TYPICAL DETAIL - EXTERIOR BEAM
SCALE: 1/2" = 1'-0"



3 TYPICAL DETAIL - INTERIOR BEAM
SCALE: 1/2" = 1'-0"



4 TYPICAL DETAIL - FOOTING FOR BEAM SUPPORT
SCALE: 1/2" = 1'-0"

1. FOOTINGS SHALL BE MIN. 12" INTO UNDISTURBED SOIL.
2. NEW PIER/POST SUPPORTS FOR DECK AND FOUNDATION SUPPORTS. PROVIDE NEW PIER FOR ALL SILL BEAMS THAT ARE SPANNING GREATER THAN 7'-0" SPACING OR AS SHOWN ON PLAN.

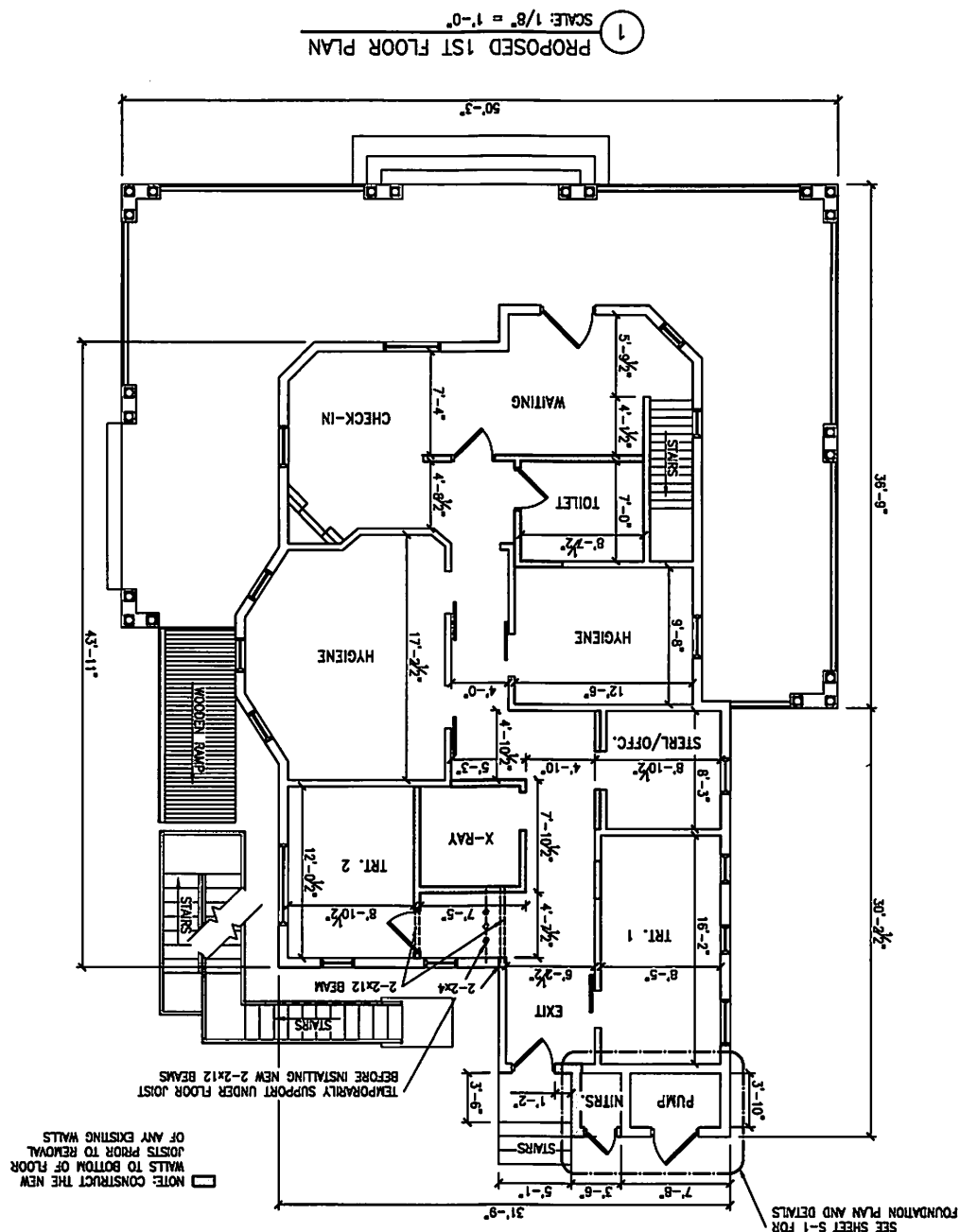
FIRM REGISTRATION #F-1586

SA Engineering Company
Consulting Engineers
210-454-5111
12719 Spectrum Dr., San Antonio, Texas 78249

PERMIT SET
SAN PEDRO DENTAL OFFICE REMODEL
1800 SAN PEDRO AVE.
SAN ANTONIO, TX 78212

REVISIONS

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220119
DATE
1/21/22
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GENERAL NOTES:

1. TEMPORARY BRACING OR SHORING OF THE STRUCTURAL MEMBERS IS REQUIRED PRIOR TO REPAIR OR REPLACING THE STRUCTURAL MEMBERS.
2. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWING OF ALL OTHER DISCIPLINES AND THE SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO ITEMS TO BE PLACED OR SET IN STRUCTURAL WORK.
3. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND BECOME FAMILIAR WITH THE PROJECT. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK OR FABRICATIONS OF MATERIALS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY PHASE OF THE WORK.
4. DO NOT SCALE DRAWINGS FOR THE PURPOSE OF ESTABLISHING DIMENSIONS.
5. DETAILS LABELED "TYPICAL DETAILS" ON DRAWINGS APPLY TO SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SUCH DETAILS APPLY WHETHER OR NOT DETAILS ARE REFERENCED AT EACH LOCATION. NOTIFY ENGINEER OF CONFLICT REGARDING APPLICABILITY OF "TYPICAL DETAILS".
6. THE CONTRACT STRUCTURAL DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. PROVIDE ALL MEASURES REQUIRED TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS, DURING CONSTRUCTION; INCLUDING BRACING, SHORING FOR CONSTRUCTION, EQUIPMENT, SHORING FOR THE BUILDING, FORMS AND SCAFFOLDING, SHORING OF RETAINING WALLS AND OTHER TEMPORARY SUPPORTS AS REQUIRED.
7. CONTACT THE ENGINEER AT 210-454-5111 FOR ANY QUESTIONS OR FOR INSPECTIONS.

DESIGN CRITERIA NOTES:

1. THE INTENDED DESIGN STANDARDS (LATEST EDITION) AND/OR CRITERIA ARE AS FOLLOWS:

GENERAL	INTERNATIONAL BUILDING CODE 2018 EDITION
CONCRETE	ACI 318
MASONRY	ACI 530
STRUCTURAL STEEL	AISC
STEEL JOISTS/GIRDERS	SJI
COLD FORMED METAL	ASIS
WOOD	ATC
WOOD TRUSSES	TPI

2. DESIGN LOADS:

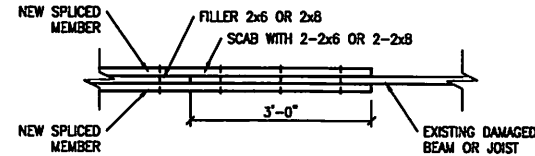
DEAD LOADS	40 PSF FLOORS
LIVE LOADS	20 PSF ROOFS
WIND LOADS	115 MPH APPLIED PER IBC 2018
	EXPOSURE "C"
	P = 25 PSF NET UPLIFT
SEISMIC LOADS	SEISMIC DESIGN CATEGORY A

3. MATERIALS - UNLESS OTHERWISE INDICATED ON THE PLANS OR SPECIFICATIONS MATERIALS SHALL BE AS FOLLOWS:

CONCRETE FOUNDATIONS AND SLABS	$F'_c = 3,000$ PSI AT 28 DAYS
REINFORCEMENT	60 KSI
MASONRY UNITS	1,900 PSI
MORTAR	1,800 PSI TYPE "S"
MASONRY ASSEMBLAGE	$f_m = 1500$ PSI
ALL STRUCTURAL SHAPES	A572
PLATES ANGLES	A36
STRUCTURAL STEEL TUBING	A500 GRADE B
STRUCTURAL PIPE	A53 GRADE B
STRUCTURAL BOLTS	A325F
ANCHOR BOLTS	ASTM F1554 GR36
WOOD	NO 2 SPF OR BETTER
TRUSSES	NO 2 SPF OR BETTER

ROUGH CARPENTRY NOTES:

1. ALL WOOD FRAMING MATERIAL SHALL BE SURFACE DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT. ALL FRAMING LUMBER SHALL BE NO. 2 SYP OR BETTER.
2. ALL LOAD BEARING PARTITIONS SHALL RECEIVE A DOUBLE 2X TOP PLATE AND LAPPED AT CORNERS.
3. ALL PARTITIONS SHALL BE BRACED ON THE TOP AT INTERVALS NOT EXCEEDING 6 FT ON CENTER.
4. ALL MULTIPLE GIRDERS, BEAMS AND JOISTS SHALL BE GANG NAILED.
5. ALL FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
6. PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWN ANCHORS AND OTHER ACCESSORIES SHALL BE MANUFACTURED BY "SIMPSON STRONG TIE" OR APPROVED EQUAL.
7. ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS AND OTHER HARDWARE EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED.
8. INSTALL ALL BLOCKING NECESSARY FOR ATTACHING ALL FINISHES, GYPSUM WALLBOARD, CABINETRY, ETC.
9. THE CONTRACTOR SHALL ENSURE THAT ALL LOADS AND REACTIONS FROM BEAMS, BEARINGS, WALLS, COLUMNS, ETC. ARE CONTINUOUSLY SUPPORTED TO THE FOUNDATION.
10. TAPERED END CUTS SHALL MEET MANUFACTURER'S REQUIREMENTS.
11. NOTCHING OF PREFABRICATED LUMBER SHALL NOT BE PERMITTED. WEB HOLES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



1. APPLY STRUCTURAL GLUE BOTH SIDES OF SCAB.
2. PROVIDE 4" DECK SCREWS SPACED 12" TOP & BOTTOM. MINIMUM 4 SCREWS EACH SIDE OF SCAB AREA.

1 TYPICAL DETAIL - REPAIR OF DAMAGED BEAM
SCALE: 1/2" = 1'-0"

FIRM REGISTRATION #F-1586

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